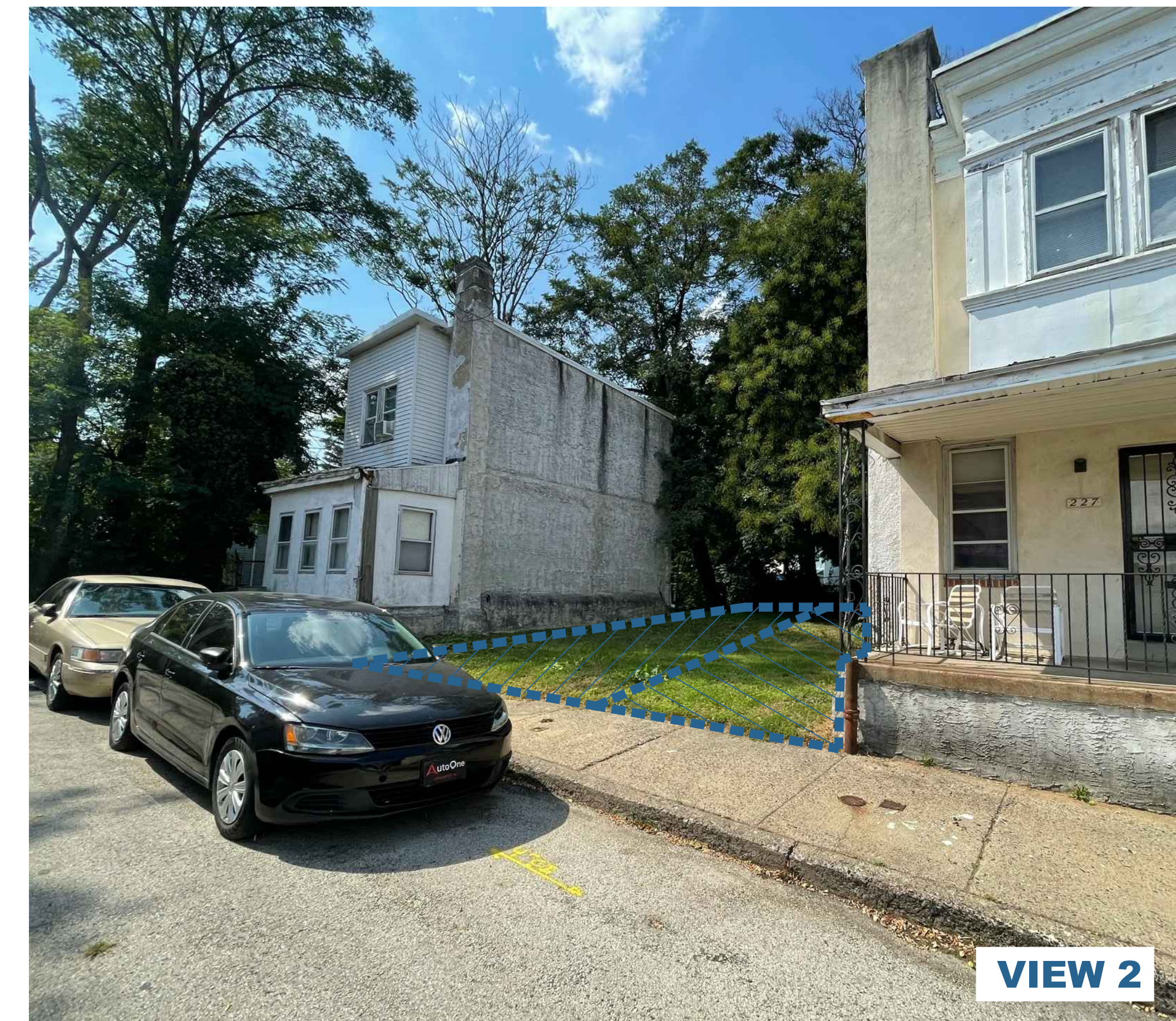




**AERIAL VIEW**



**VIEW 1**



**VIEW 2**



**ZONING VIEW**

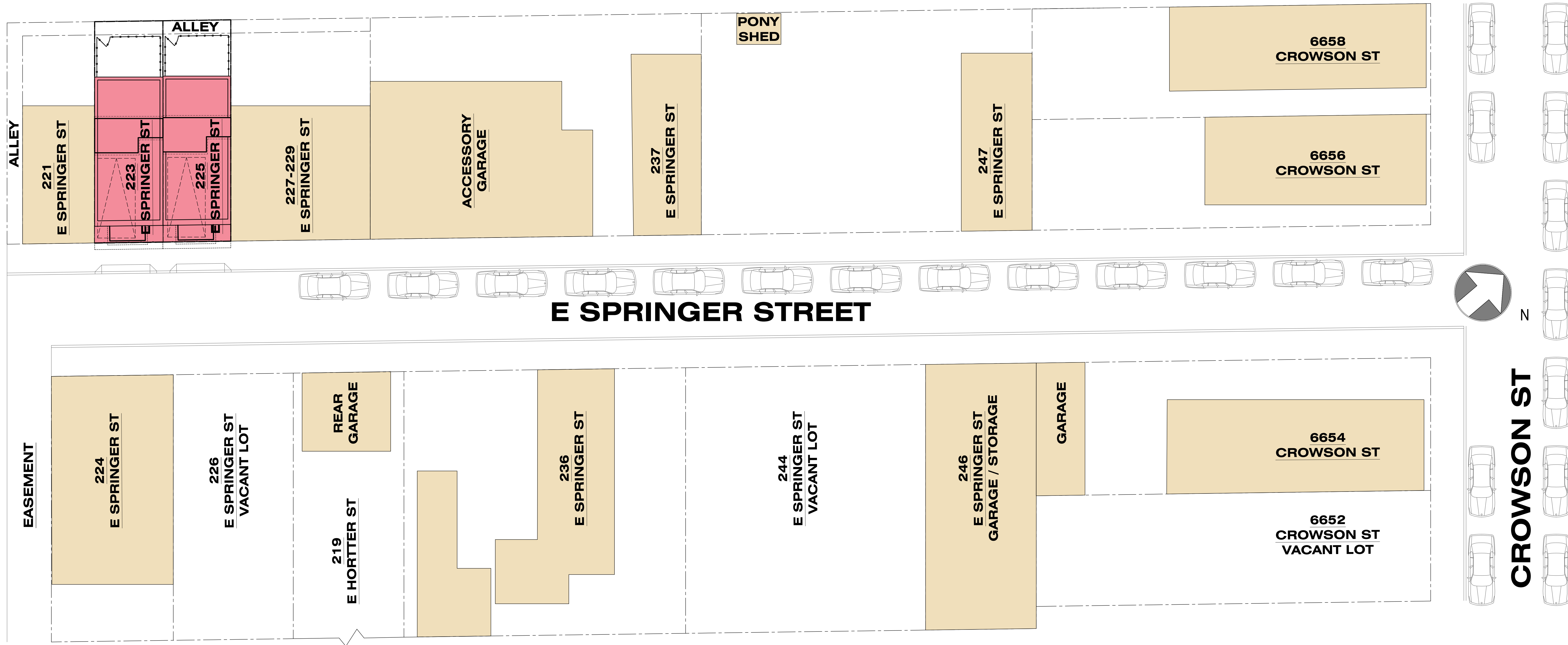


**VIEW 3**



**VIEW 4**

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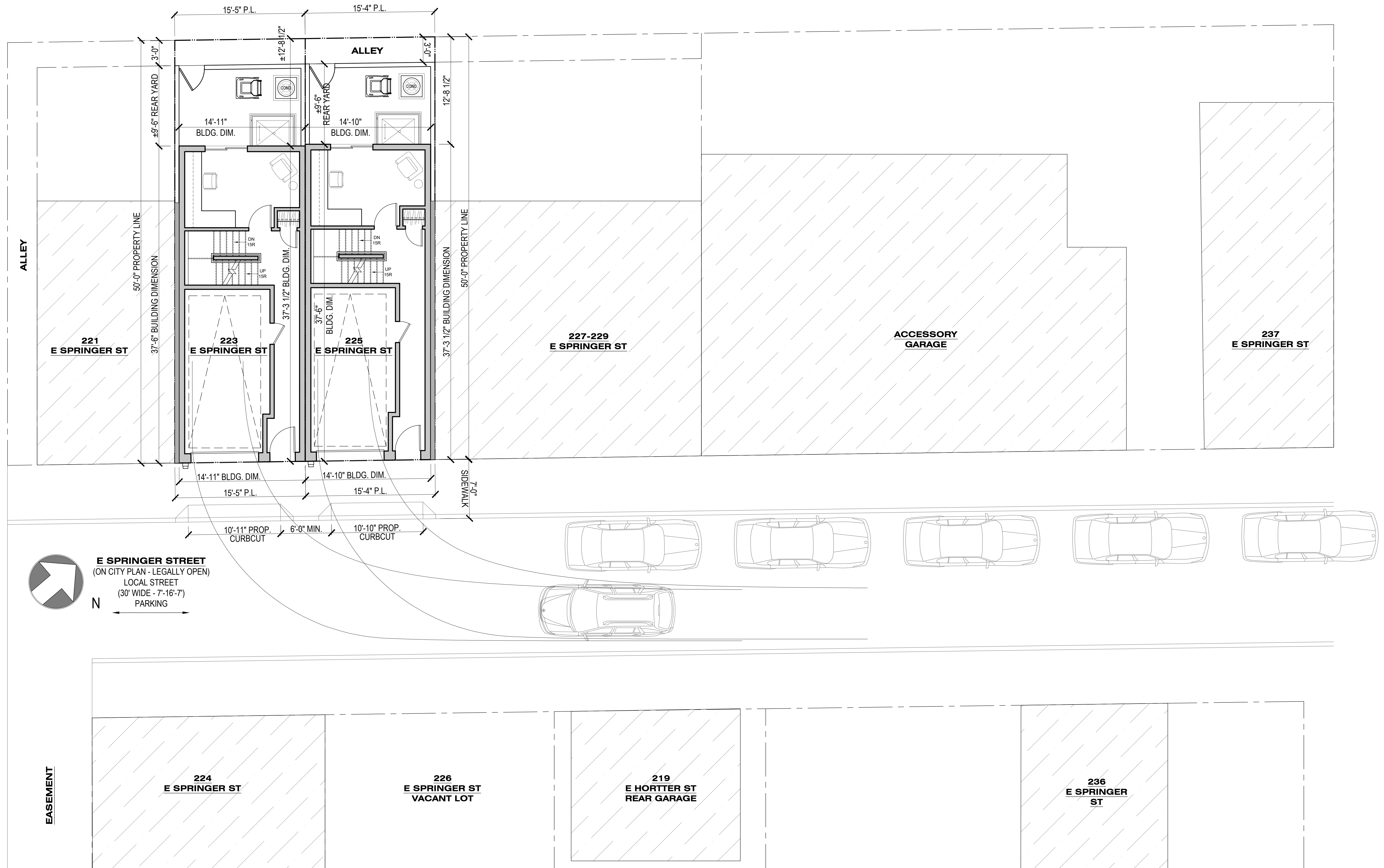
**KEY**

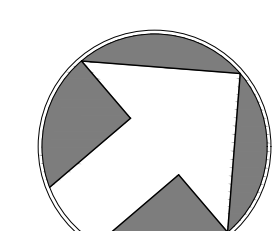
- = PROPOSED STRUCTURE
- = EXISTING STRUCTURE

# 223-25 E SPRINGER ST Philadelphia, PA

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**SP.00**  
CONTEXT PLAN



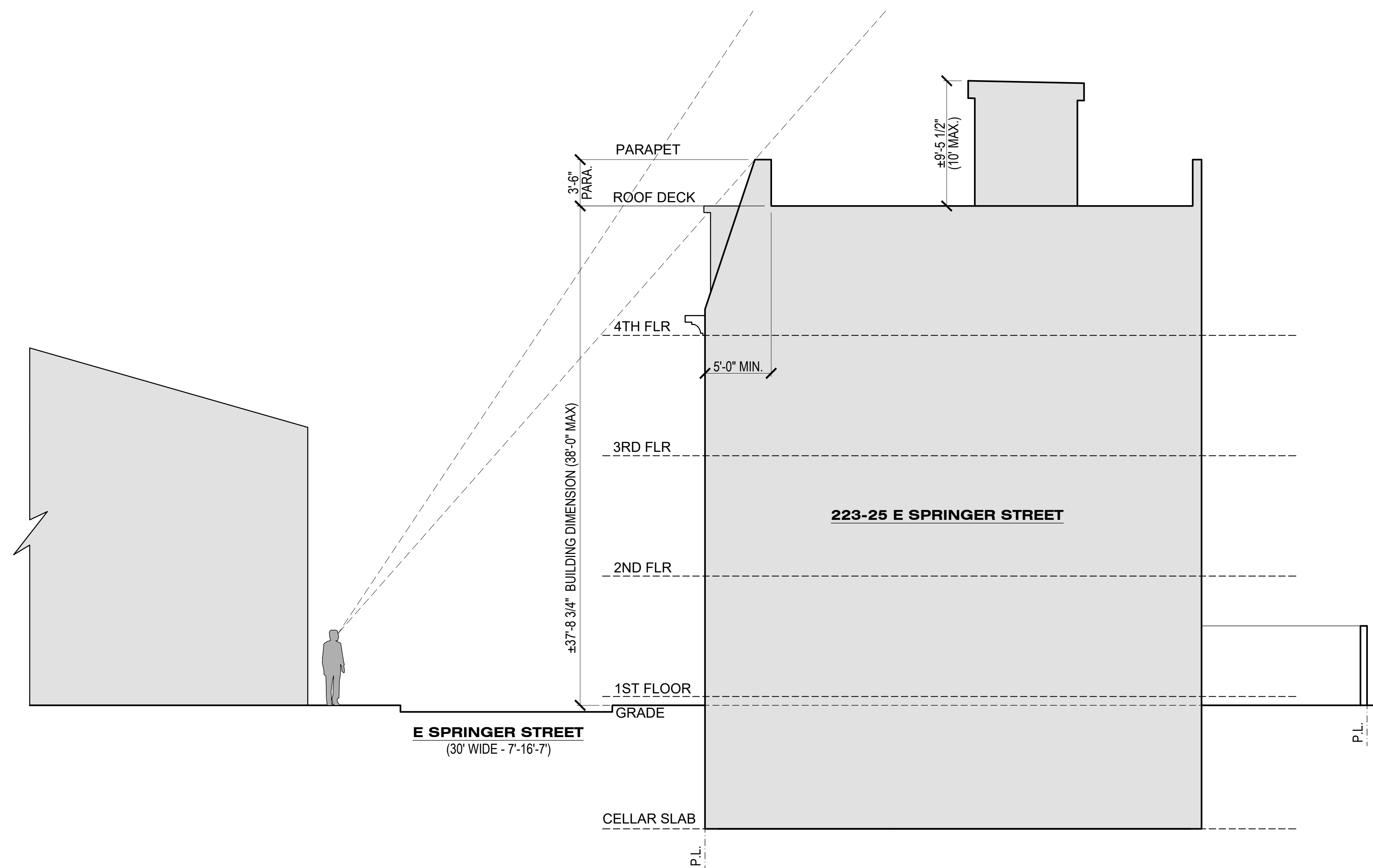

**E SPRINGER STREET**  
 (ON CITY PLAN - LEGALLY OPEN)  
 LOCAL STREET  
 (30' WIDE - 7'-16'-7")  
 PARKING

# 223-25 E SPRINGER ST

## Philadelphia, PA

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4	XX.XX.2021	RCD	KR	RS

**SP.01**  
SITE PLAN



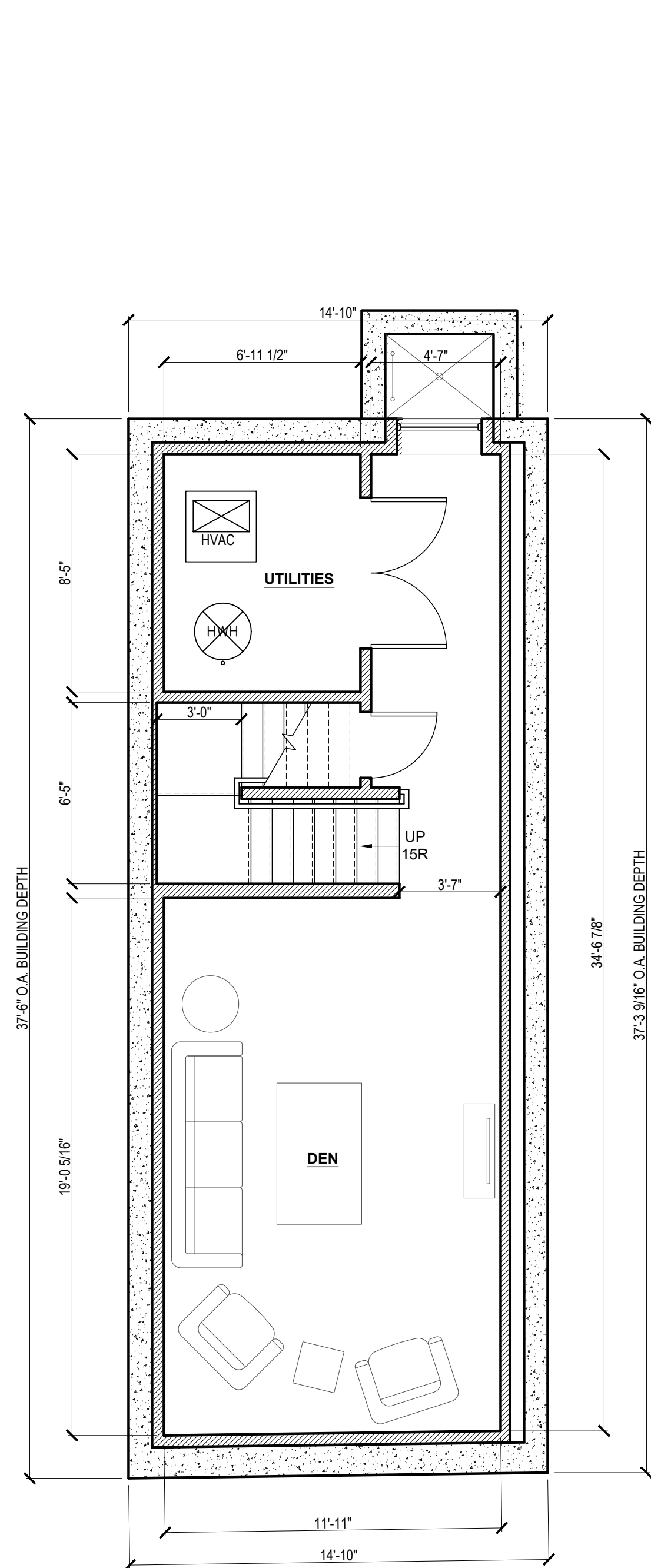
# 223-25 E SPRINGER ST

## Philadelphia, PA

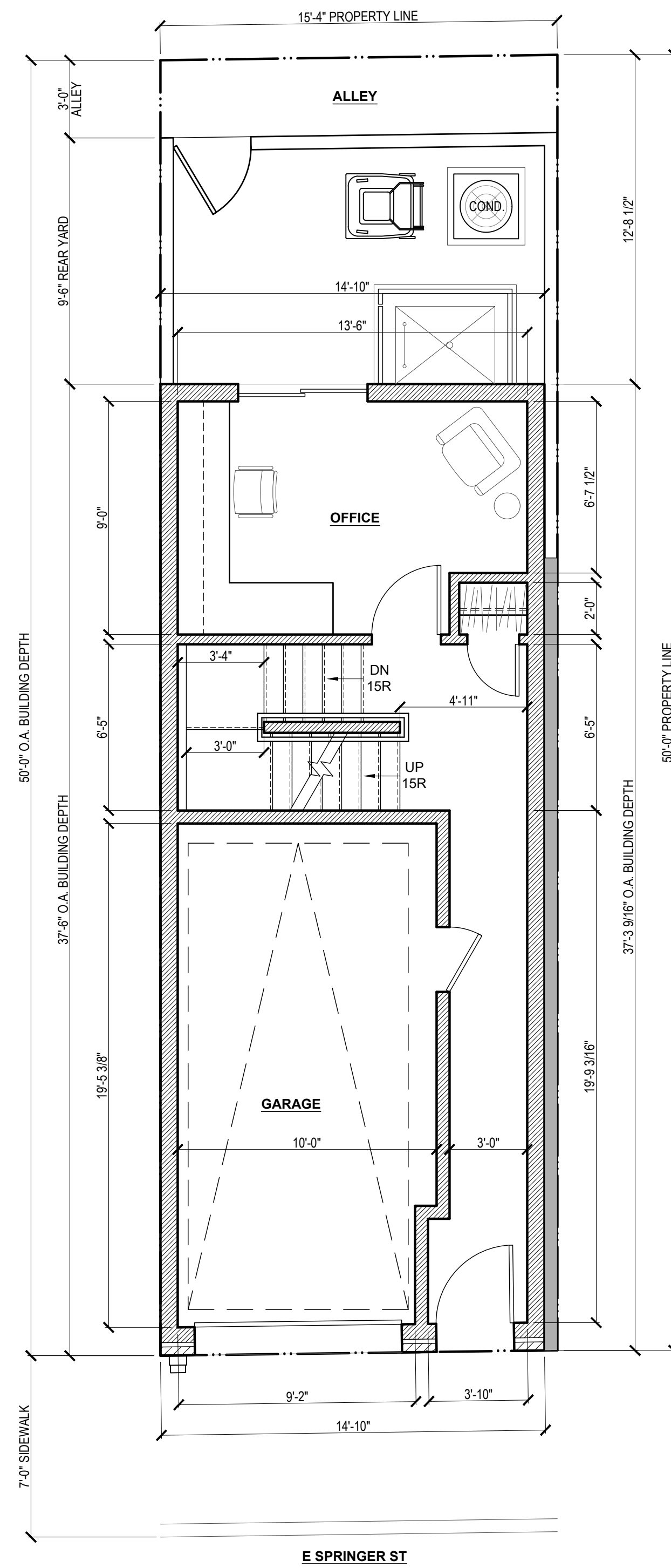
#	DATE	ISSUE / REVISION	DRAWN BY:	REVIEWED BY:
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### SP.02

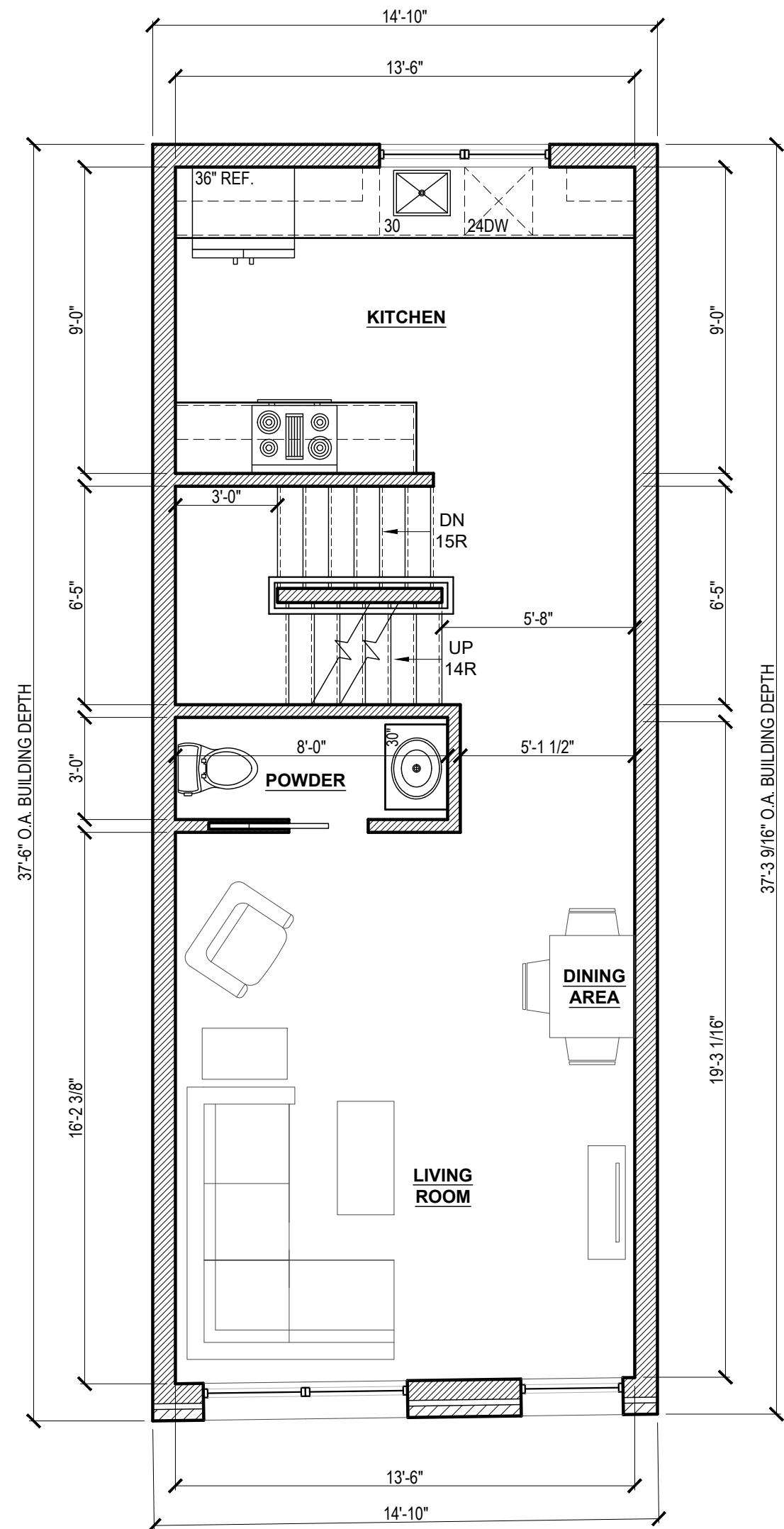
#### SIGHT LINE DIAGRAM



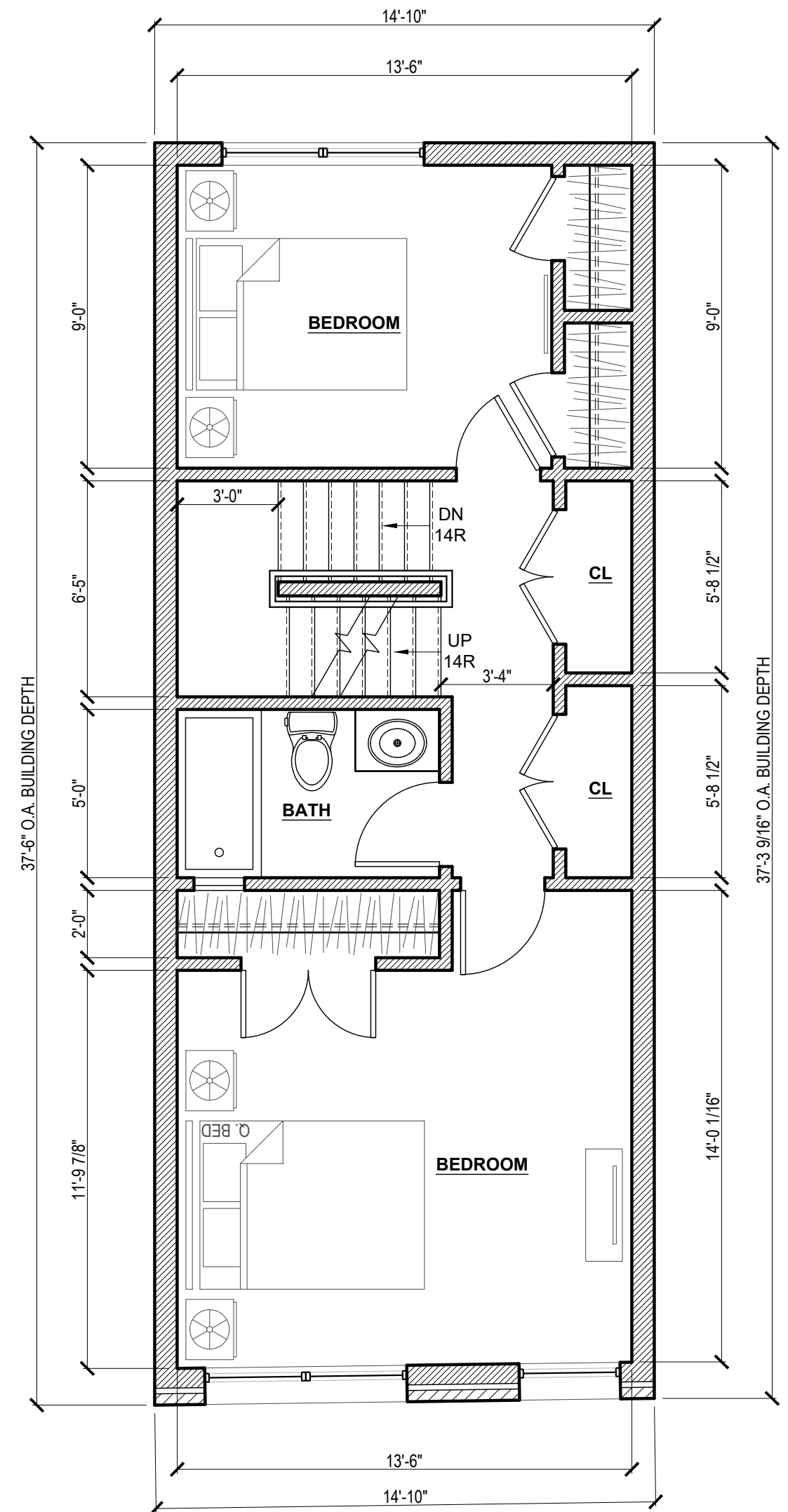
1 BASEMENT PLAN  
SD1.0 1/4" = 1'-0"



2 FIRST FLOOR PLAN  
SD1.0 1/4" = 1'-0"



3 SECOND FLOOR PLAN  
SD1.0 1/4" = 1'-0"



4 THIRD FLOOR PLAN  
SD1.0 1/4" = 1'-0"

# 223-25 E SPRINGER ST Philadelphia, PA

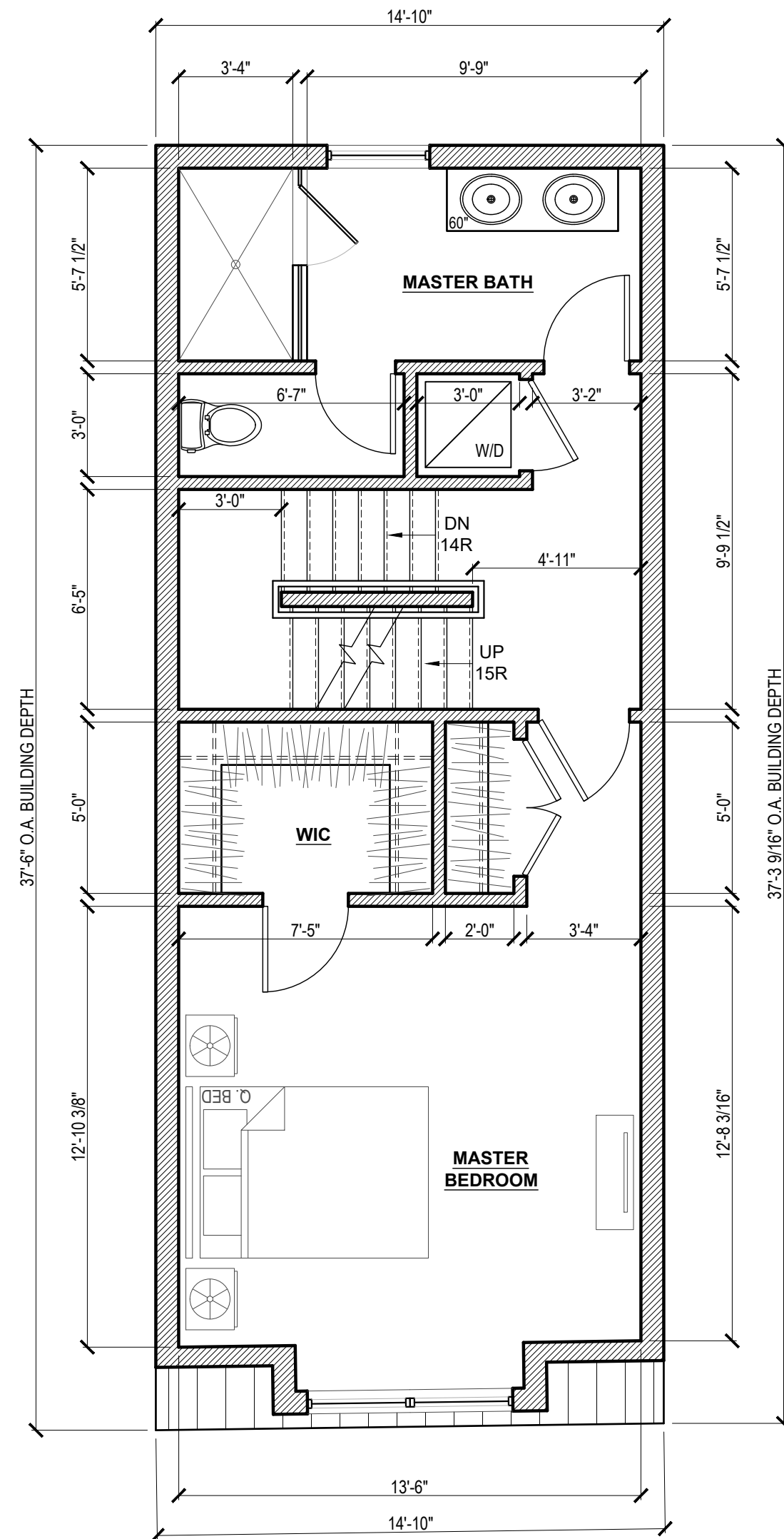


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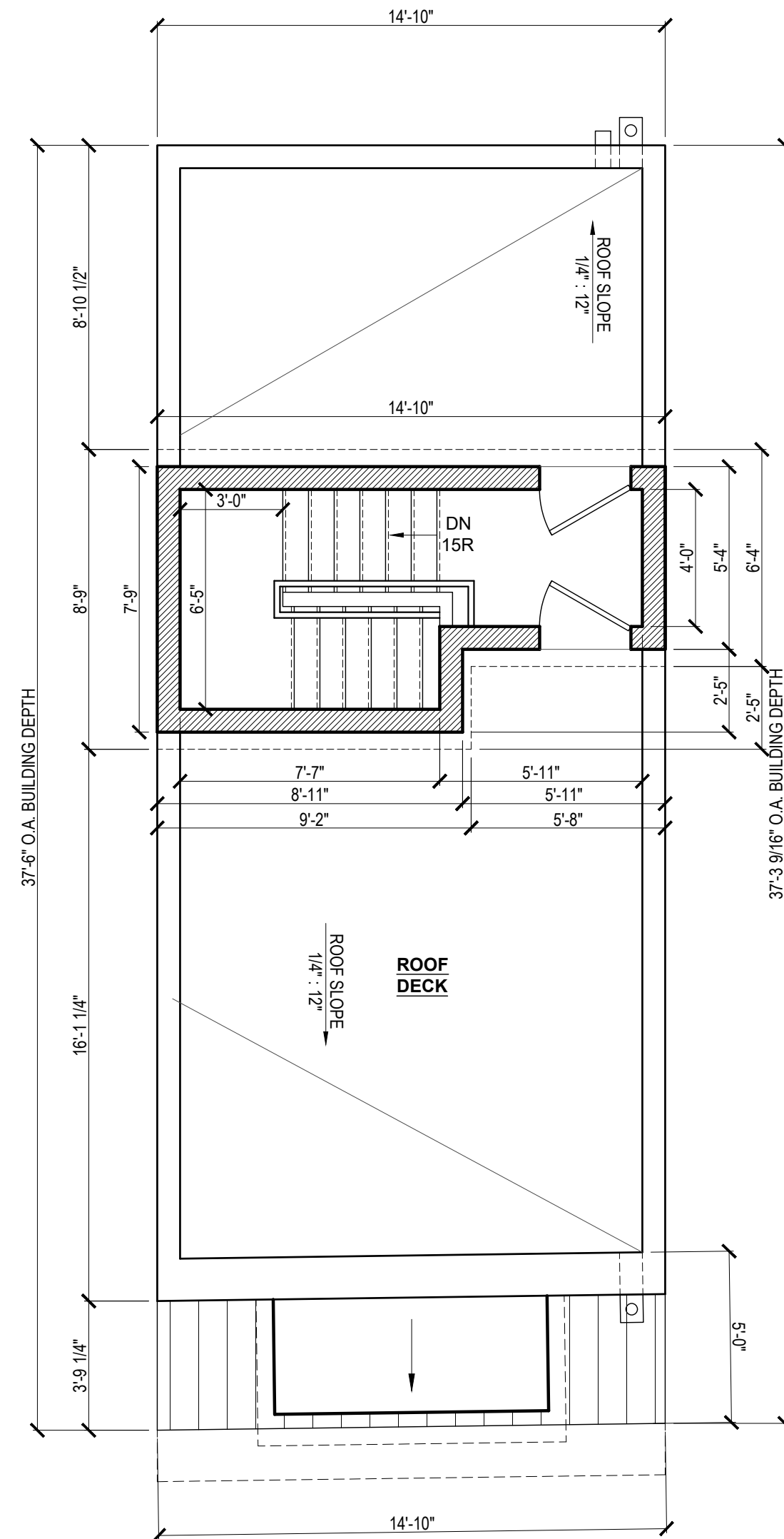
**SD1.0**  
FLOOR PLANS

223-25 E SPRINGER ST  
Philadelphia, PA

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1 FOURTH FLOOR PLAN  
SD1.1 1/4" = 1'-0"



2 ROOF PLAN  
SD1.1 1/4" = 1'-0"

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4	XX.XX.2021	RCD	KR	RS



1 FRONT ELEVATION  
SD2.0 / 1/4" = 1'-0"

# 223-25 E SPRINGER ST Philadelphia, PA



#	DATE	ISSUE / REVISION	DRAWN BY:	REVIEWED BY:
4	XX.XX.2021	RCC	KR	RS

**SD2.0**  
ELEVATIONS

223-25 E SPRINGER ST  
Philadelphia, PA

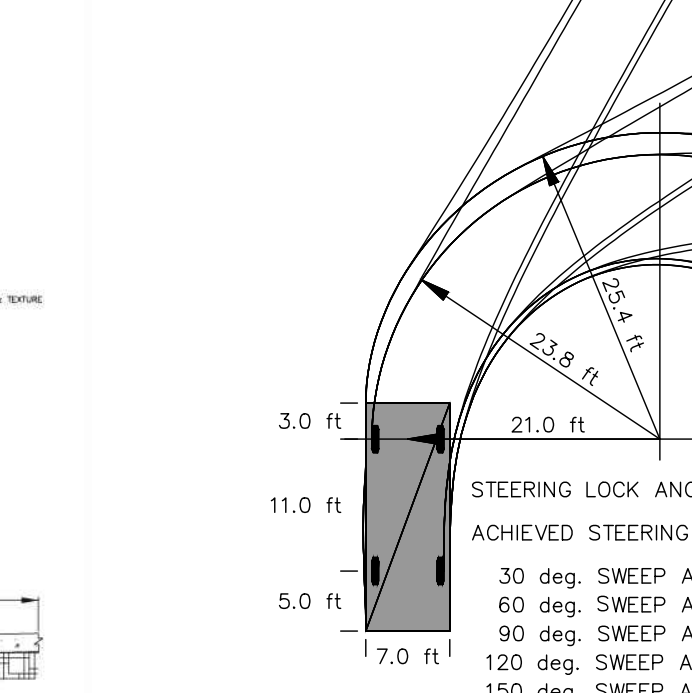
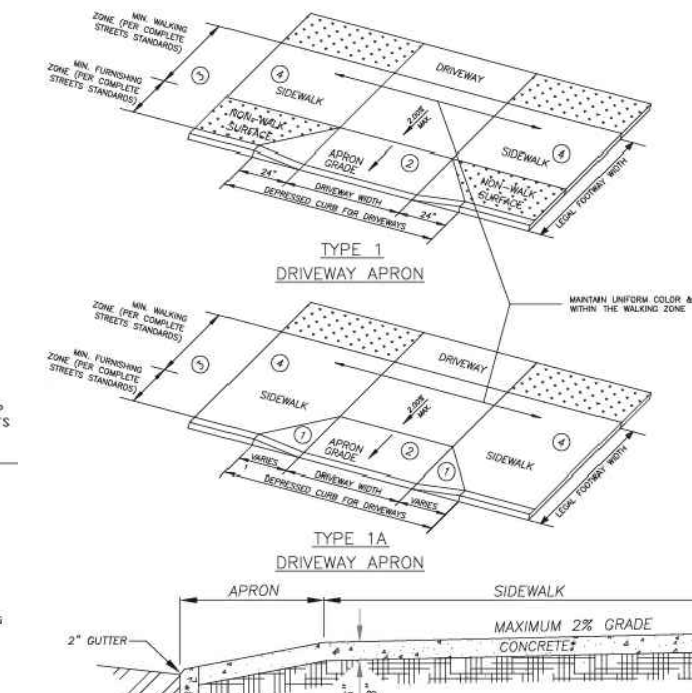
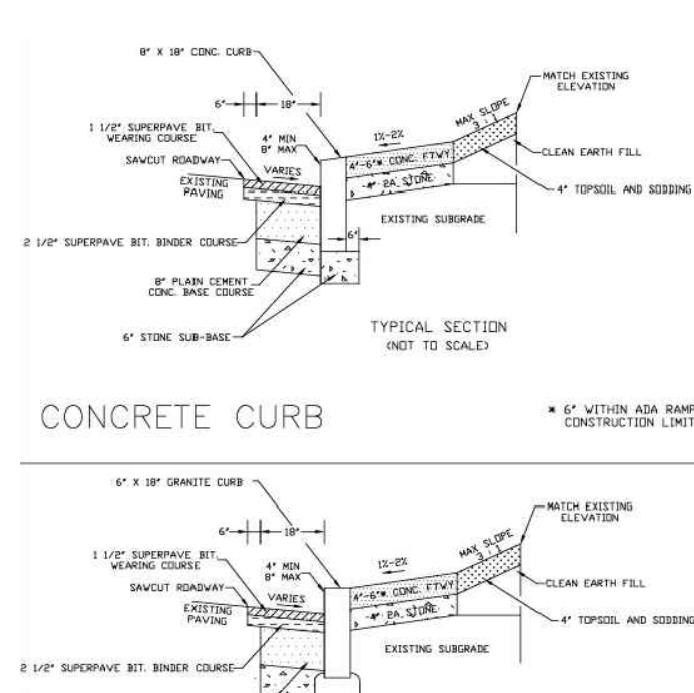
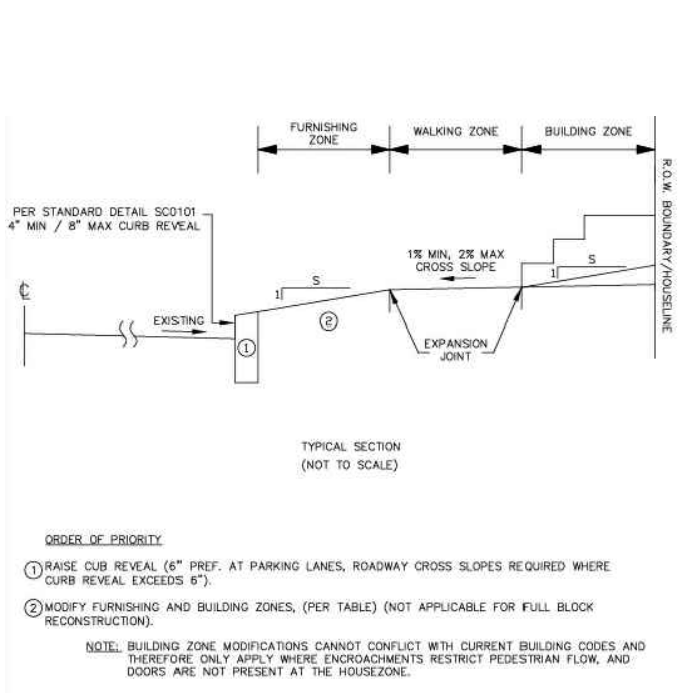
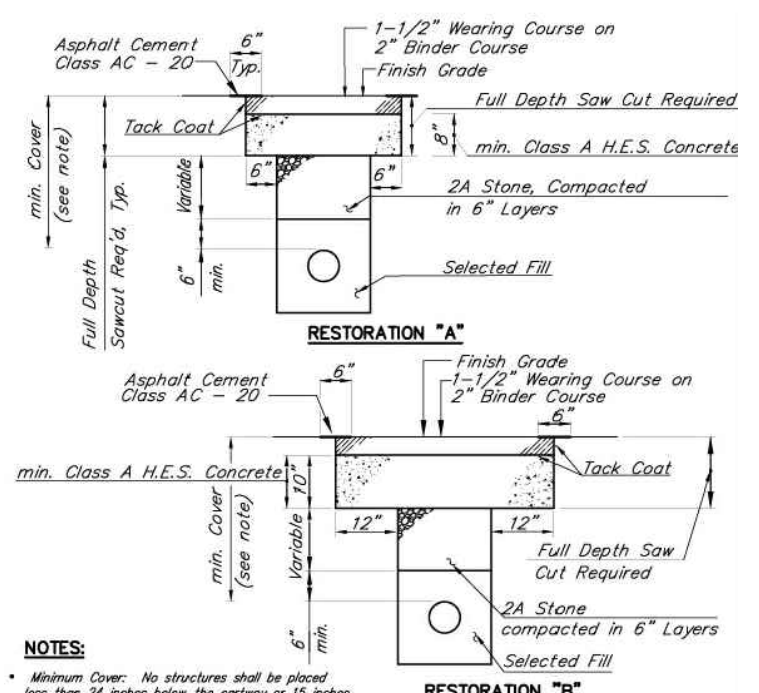


1 REAR ELEVATION  
SD2.1 / 1/4" = 1'-0"

#	DATE	ISSUE / REVISION	DRAWN BY:	REVIEWED BY:
4	XX.XX.2021	RCC	KR	RS







**NOTES:**

- Minimum curb height shall be 4" above the existing or proposed finish grade.
- Asphalt cement shall be placed in 2" lifts below the existing or proposed finish grade.
- Asphalt cement shall be placed in 2" lifts below the existing or proposed finish grade.
- Asphalt cement shall be placed in 2" lifts below the existing or proposed finish grade.

**ORDER OF PRECEDENCE:**

- BASE CURB REVEAL (IF ANY) AT PARKING LINES, ROADWAY CROSS SLOPES REQUIRED WHERE CURB REVEAL EXCEEDS 4"
- MODIFY FURNISHING AND BUILDING ZONES, (PER TABLE) (NOT APPLICABLE FOR FULL BLOCK RECONSTRUCTION)
- BASE BUILDING ZONE MODIFICATIONS (DO NOT CONFLICT WITH CURRENT BUILDING CODES AND THEREFORE ONLY APPLY WHERE ENCROACHMENTS RESTRICT FOOTCURE FLOW AND DOORS ARE NOT PRESENT AT THE HOUSELINE)

**CITY OF PHILADELPHIA DEPARTMENT OF STREETS ROADWAY HALF SECTION SIDEWALK GRADING STANDARD SC0112**

**CITY OF PHILADELPHIA DEPARTMENT OF STREETS TYPICAL CURB AND DRIVEWAY CONSTRUCTION AND ROADWAY RESTORATION CONCURRENCE & GRADING SC0101**

**CITY OF PHILADELPHIA DEPARTMENT OF STREETS STANDARD DRIVEWAY SC0105**

**3 TRENCH DETAIL**  
Z1 N.T.S.

**4 STANDARD SIDEWALK GRADING DETAIL**  
Z1 N.T.S.

**5 TYPICAL DETAIL**  
Z1 N.T.S.

**6 STANDARD DRIVEWAY DETAIL**  
Z1 N.T.S.

**7 AASHTO TURNING DIAGRAM**  
Z1 N.T.S.

**ZONING KEYED NOTES**

- 3-2 PARAPET (SEE SECTION / ELEV. FOR HEIGHTS)
- 3-3 ROOF (ARE NOT TO BE OCCUPIED)
- 3-4 ROOF DECK
- 3-5 PILOT HOUSE (NOT TO EXCEED 125 SF)
- 3-6 MANSARD ROOF
- 3-7 DORMER WITH FLAT ROOF
- 2-1 CORNICE
- 2-2 ROOFGATED BALCONY
- 2-3 ROOFGATED BALCONY
- 2-4 ARCHITECTURAL EMBELLISHMENT
- 1-1 AREA WITH CORNER WELLS REFER TO DETAIL
- 1-2 AREA WITH ROOFGATED WELLS
- 1-3 ENTRY OPENING LANDING
- 1-4 RETAINING WALL - HEIGHT PER SECTION
- 1-5 6'-0" FENCE (AT PROPERTY LINE, TYPE)
- 1-5A 3'-0" GATE 6'-0"
- 1-6 AUTOMOBILE PARKING STALL (6'-6" x 18'-0", TYP.)
- 1-7 PROPOSED CURB CUT, REFER TO DETAIL

**PROJECT SUMMARY: 225 E SPRINGER STREET**

**ZONING: RSA-3**  
**OVERLAY DISTRICT: IEDO Eighth District Overlay District**  
**ABUTTING ZONING DISTRICT: RSA-3 / RSA-5**  
**ZONING DISTRICT ACROSS STREET: RSA-3**  
**LOT AREA: 766.6 SF**

**USE: PROPOSED SINGLE FAMILY DWELLING UNIT + 1 INTERNAL PARKING STALL**

DWELLING UNITS	ALLOWED	PROPOSED
1	1	1

DIMENSIONAL STANDARDS	REQUIRED / ALLOWED	PROPOSED
OPEN AREA	383.3 SF (50%)	193.3 SF (25.2%)
OCCUPIED AREA	383.3 SF (50%)	573.3 SF (74.8%)
FRONT YARD SETBACK	8'	0'
SIDE YARD	0'	0'
REAR YARD	15'	±9'-6"
HEIGHT	38'	±37'-9" (NTE 38')

**TOTAL GFA: 2392.7 SF**

**ZONING NOTES:**

- PILOT HOUSES ARE TO CONTAIN STAIRS AND LANDINGS ONLY.
- PROPOSED ROOF DECKS ARE TO BE SETBACK MIN. 5'-0" FROM RIGHT OF WAYS.
- GUARD RAILS/TYPICAL PARAPETS ARE 42" AFF.
- 6' TALL FENCE PROPOSED AT REAR AND SIDE YARDS WHERE APPLICABLE.

**TYPICAL ENCROACHMENTS INTO RIGHT OF WAYS:**

PEDESTRIAN ZONE: 5'-0"  
 FURNISHING ZONE: 2'-0"  
 BUILDING ZONE: N/A

STAIR ENCROACHMENT: N/A  
 EGRESS WELLS (TYP. THROUGHOUT): N/A

EGRESS WELLS SHALL BE COVERED WITH A WALKABLE STEEL GRATE FLUSH WITH THE SIDEWALK AND ACCESSIBLE.

BAY WINDOWS AND BALCONIES: NOT TO BE ERECTED EXCEPT WITHIN LINES DRAWN FROM THE INTERSECTION OF THE PARTY LINE AND THE STREET LINE AT AN ANGLE OF 20° WITH THE LATTER. ERECTED AT THE PROPERTY LINE EXTENDING INTO THE RIGHT-OF-WAY NOT MORE THAN 3'-0" BAYS TO BE MIN. 10'-0" IN HEIGHT OVER RIGHT-OF-WAYS.

**ADDITIONAL NOTES:**

THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN TAKEN FROM EXISTING PUBLIC UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED.

DRAWING F4-75 (PGW), 233466 (PWD), 261459 (PWD) OF CITY OF PHILADELPHIA BOARD OF HIGHWAY SUPERVISORS

HARMAN DEUTSCH OHLER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY UTILITY LOCATIONS OR SPECIFICATIONS.

LOCATIONS OF ALL ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE OR ACCURATE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED IN THE FIELD PRIOR TO THE INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION. HARMAN DEUTSCH OHLER ARCHITECTURE IS NOT A FIRM WITH EXPERTISE IN MECHANICAL, ELECTRICAL, PLUMBING OR CIVIL ENGINEERING, NOR IS HARMAN DEUTSCH OHLER ARCHITECTURE A FIRM WITH EXPERTISE IN THE DETECTION AND/OR IDENTIFICATION OF POTENTIALLY HAZARDOUS SOILS AND SUBSTANCES. THEREFORE, THIS PLAN DOES NOT PURPORT TO LOCATE OR REVEAL THE SAME.

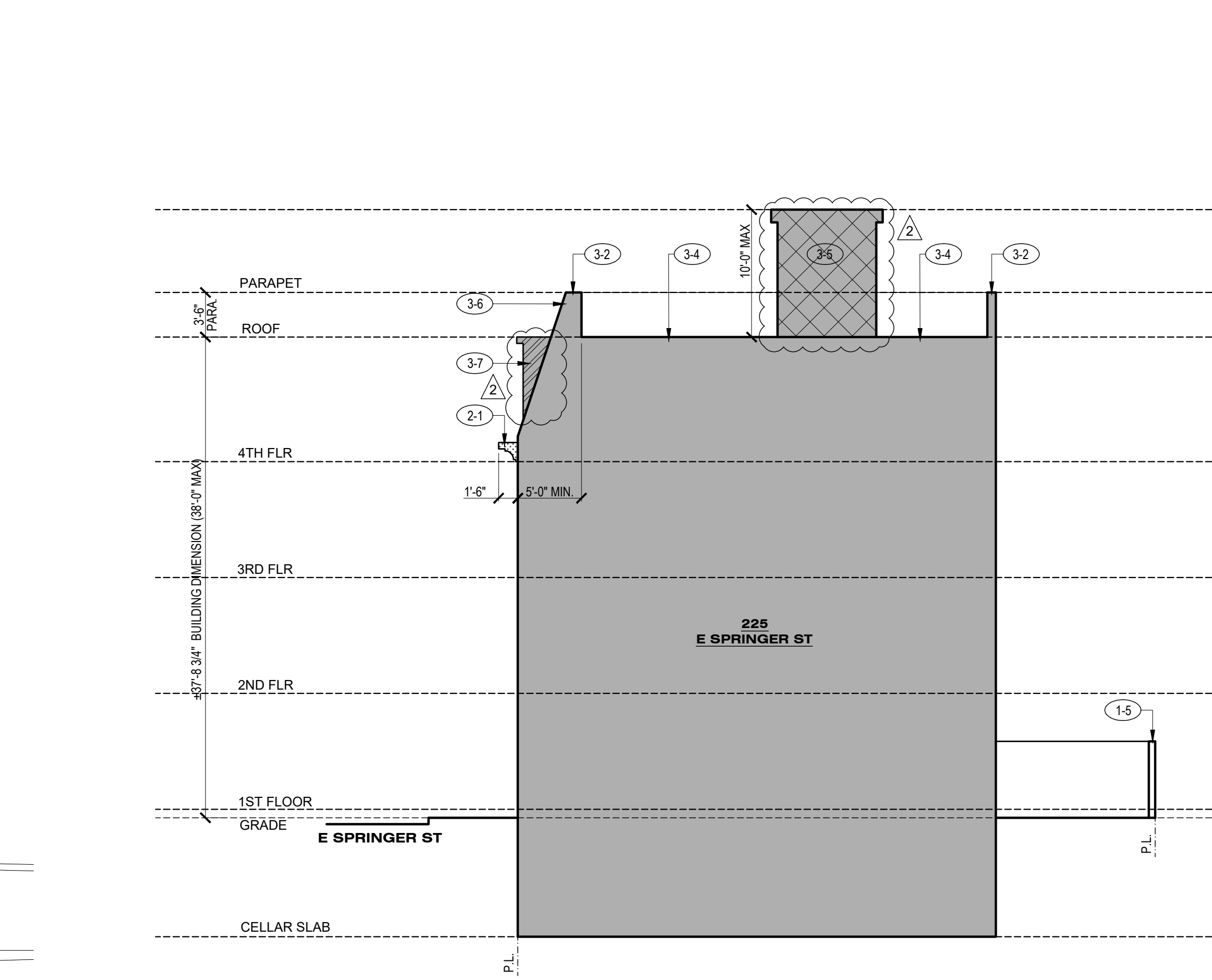
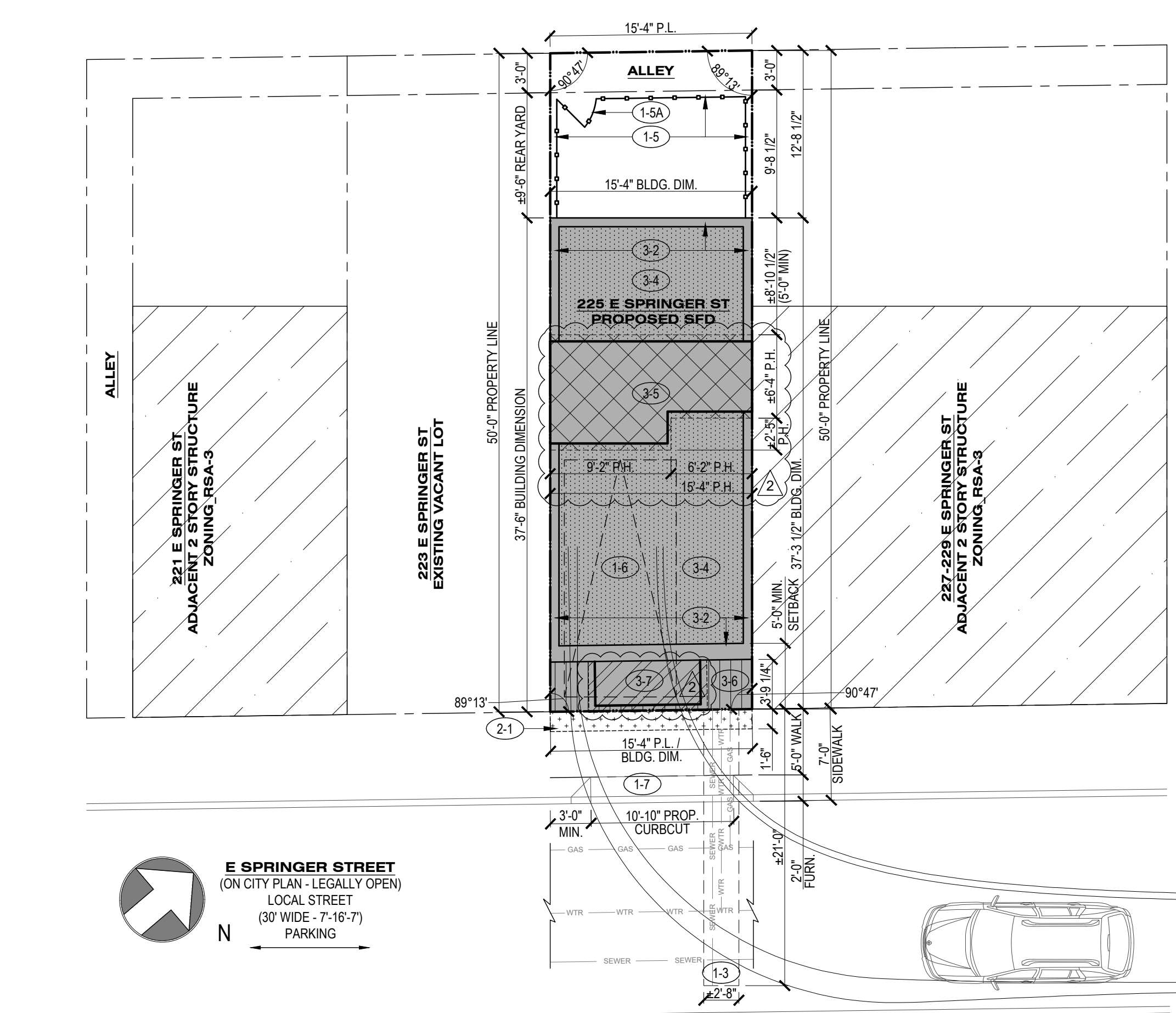
VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.

"CALL BEFORE YOU DIG" PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974) AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.

SEE PA ONE CALL NUMBER IN STREETS DEPARTMENT NOTES, THIS PAGE. HARMAN DEUTSCH OHLER SHALL NOT BE RESPONSIBLE FOR ANY FINDINGS BY PA ONE CALL THAT MAY DIFFER FROM THE PLANS.

**STREETS DEPARTMENT NOTES:**

- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL.
- NEW CURB PER CURB, FOOTWAY AND ROADWAY RESTORATION PER DRAWING NUMBER SC-0101
- MINIMUM PEDESTRIAN, BUILDING, AND FURNISHING ZONES PER COMPLETE STREETS POLICY, CHAPTER 11-900
- PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
  - PENNSYLVANIA ONE CALL SYSTEM #2021 167 3292
  - WARD #22
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD.
- HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 9TH SURVEY DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1046. NOTE: THIS ITEM, ENGINEERING SERVICES, IS A PRE-DETERMINED AMOUNT TO BE DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID.
- PERMITS FOR BOLLARDS, CURB, AND SIDEWALK PAVING WILL BE FURNISHED BY THE 4TH HIGHWAY DISTRICT OF THE CITY OF PHILADELPHIA.
- THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK TO BE PAID UNDER ITEM #4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT (215) 686-5539, A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS & RECREATION. CONTACT THE STREET TREE MANAGEMENT DIVISION AT (215) 686-4363.
- ALL EGRESS/LIGHT WELLS TO BE CAPPED FLUSH WITH SIDEWALK WITH WALKABLE STEEL GRATE.
- SIDEWALK SPOT ELEVATIONS ARE TAKEN FROM PUBLIC RECORD. MEASUREMENTS ARE SET ABOVE PHILADELPHIA DATUM (A.P.D.). ALL SPOT ELEVATIONS ARE EXISTING AND DO NOT NECESSARILY REFLECT PROPOSED CONDITIONS.
- STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT STREET LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 686 5517 TO COORDINATE STREET LIGHT POLE LOCATIONS.
- FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER THE PHILADELPHIA STREETS DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PennDOT) DOES NOT IMPLY A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- EGRESS WELLS IN SIDEWALK SHALL BE CAPPED FLUSH W/ FINISHED SIDEWALK SURFACE W/ WALKABLE STEEL GRATE BRATING



**1 ZONING PLAN**  
Z1 1/8" = 1'-0"

**2 ZONING SITE SECTION**  
Z1 1/8" = 1'-0"

**STAMP REGION**

**harman deutsch ohler architecture**

1225 n 7th street  
 philadelphia, pa 19122  
 hdoarch.com  
 267.324.3601

**PROJECT ADDRESS:**

**225 E SPRINGER STREET  
 PHILADELPHIA, PA**

SEAL:

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**CONSULTANTS:**

#	DATE	ISSUE / REVISION
1	09/16/2021	ZONING SUBMISSION
2	XX.XX.2021	RCO

DRAWINGS PREPARED BY:  
 KR

DRAWINGS CHECKED BY:  
 RS

DRAWING TITLE:  
**ZONING SITE PLAN**

DRAWING NUMBER:  
**Z.1**

**ZONING ONLY**

**Z.1**